



ORDINANCE NO. 1431

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED; BY AMENDING THE ZONING DISTRICT CLASSIFICATION OF THE TRACT OF LAND BOUNDED ON THE SOUTH BY ALPHA ROAD; BOUNDED ON THE WEST BY INWOOD ROAD; ON THE NORTH BY SPRING VALLEY ROAD; AND ON THE EAST BY THE DALLAS POWER AND LIGHT TRANSMISSION LINE EASEMENT FROM THE CURRENT ZONING DISTRICT CLASSIFICATION OF LIGHT INDUSTRIAL (LI) TO PLANNED DEVELOPMENT ZONING DISTRICT NUMBER 41 (PD-LI) ALLOWING HIGH DENSITY OFFICE DEVELOPMENT USES; ESTABLISHING DEVELOPMENT STANDARDS FOR PD ZONING DISTRICT NUMBER 41 PROVIDING A SAVING CLAUSE; PROVIDING INJUNCTIVE RELIEF; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Planning and Zoning Commission of the City of Farmers Branch, in compliance with the charter of the City of Farmers Branch, and the state law with reference to granting of changes of zoning under the Zoning Ordinance Regulations and Zoning Map, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners interested and situated in the affected area and in the vicinity thereof, the governing body of the City of Farmers Branch is of the opinion that due to a change in condition and in order to protect the public health, welfare and safety, said changes of zoning should be granted, as set forth herein;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, be, and the same is hereby amended by amending the Zoning Map of the City of Farmers Branch so as to change the zoning on the following described tract of land from Light Industrial (LI) to Planned Development Zoning District (PD-LI), and standards as set forth in Exhibit "B". Said tract of land being shown on Exhibit "A" and more specifically described as follows:

BEGINNING at an iron rod being at the intersection of the north right-of-way line of Alpha Road (variable width) and the easterly line of Inwood Road (80 foot right-of-way) as widened by a 20 foot Street Dedication to the City of Farmers Branch as recorded in Volume 592, Page 2060 of the Deed Records of Dallas County, Texas;

THENCE North  $17^{\circ}1'00''$  West along said easterly line of Inwood Road, a distance of 2,423.70 feet to an iron rod being at the intersection of said easterly line of Inwood Road and the cut-off line between said easterly line of Inwood Road and the southerly line of Spring Valley Road (100 foot right-of-way);

THENCE North  $20^{\circ}31'14''$  East along said cut-off line a distance of 32.92 feet to an iron rod being at the intersection of said cut-off line and the southerly line of said Spring Valley Road;

THENCE South  $89^{\circ}54'22''$  East along said southerly line of Spring Valley Road a distance of 58.60 feet to an iron rod for corner;

THENCE South  $17^{\circ}01'00''$  East along the westerly line of a 100 foot Dallas Power and Light Easement as recorded in Volume 4633, Page 308 of the Deed Records of Dallas County, Texas, a distance of 2,442.23 feet to an iron rod for corner in the said northerly right-of-way line of Alpha Road;

THENCE South  $80^{\circ}45'00''$  West along said northerly right-of-way line of Alpha Road a distance of 62.67 feet to an iron rod for an angle;

THENCE North  $89^{\circ}23'18''$  West continuing along said northerly line of Alpha Road a distance of 18.69 feet to the POINT OF BEGINNING and containing 195,383 square feet, more or less, or 4.4854 acres;

SECTION 2. That all uses in PD zoning district number 41 (PD-41) shall conform in operation, location and construction to the performance standards established by the Comprehensive Zoning Ordinance of the City of Farmers Branch.

SECTION 3. That all uses in PD zoning district number 41 (PD-41) shall conform to the development standards as shown on Exhibit "B".

SECTION 4. That the above described tract of land shall be used only in the manner for the purpose provided by the Comprehensive Zoning Ordinance of the City of Farmers Branch as heretofore amended, and as amended herein.

SECTION 5. That any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, and upon conviction shall be punished by a fine not to exceed the sum of Two Hundred Dollars (\$200.00) for each offense.

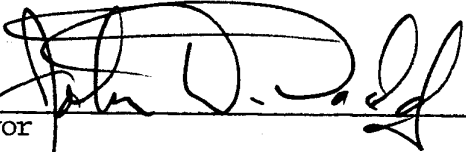
SECTION 6. If any section, paragraph, subdivision, clause, phrase or provisions of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as a whole or any part or portion thereof, other than that portion so decided to be invalid or unconstitutional.

SECTION 7. Injunctive Relief. In addition to and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

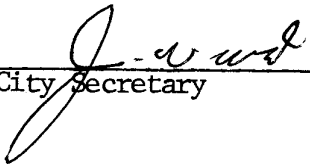
SECTION 8. Whereas, it has been found that there has been a change in conditions in the above described property, it is now necessary that it be given the above zoning classification in order to permit its proper development and in order to protect the public interest, comfort and general welfare, and requires that this ordinance shall take effect immediately from and after its passage, and publication of the caption of said ordinance, as the law in such case provides.

DULY PASSED by the City Council of the City of Farmers Branch, Texas,  
on this the 7th day of February, 1983.

APPROVED:

  
\_\_\_\_\_  
Mayor

ATTEST:

  
\_\_\_\_\_  
City Secretary

APPROVED AS TO FORM:

  
\_\_\_\_\_  
City Attorney

DEVELOPMENT STANDARDS  
FOR PLANNED DEVELOPMENT DISTRICT  
NUMBER 41

The following standards shall be considered in the design, location and siting of structures and other development features within the Planned Development District. A comprehensive site plan will be required with each development as described in paragraph 8-502 of the Zoning Ordinance as well as herein.

I. BASIC PERFORMANCE STANDARDS

A. PRINCIPAL USES PERMITTED

The following principal uses shall be permitted subject to approval of conceptual and detailed site plans.

1. Office Buildings and Office Condominiums

This includes but is not limited to: private corporate offices, speculative offices, professional offices, medical and diagnostic offices.

2. Financial institutions.

3. Drive-in banks.

B. SECONDARY USES PERMITTED

The following secondary uses shall be permitted only in a PD district which includes office uses.

1. Business service establishments

2. Snack or sandwich shops

3. Personal service establishments such as a barber shop, etc.

Secondary uses shall be designed to serve primarily the needs of occupants of the planned development in which they are located. Such uses shall be designed so as to maintain and protect the character of adjacent properties. Recognizing that developments may be subdivided for creation of specialty uses on separate sites, the requirements for one or more principal uses may be waived by the City for sites of one acre and smaller.

C. USE LIMITATIONS

1. All developments shall conform to standards set forth in maximum and minimum development standards.

2. Secondary uses shall be permitted only in the presence of office or office condominium uses.
3. The gross floor area of secondary uses, except parking, shall not exceed 20 percent of the total principal uses of the development.
4. All uses shall be permitted only in the location shown on the approved final site development plan. Once constructed, any alteration to a given structure or change in a given use shall be governed by the regulations of that conventional zoning district which most closely characterizes the given development, such conventional district to be determined by the Building Official subject to review by the Planning and Zoning Commission and City Council. Should a desired alteration or change in use represent a substantial departure from the approved final development plan, then such shall be allowed only after resubmittal of the amended site plan.

D. BUILDING VOLUME REGULATIONS

1. Maximum floor area ratio, including garages, 4:1 (floor is defined as the gross area of any built structure from grade level up. Basements, office and parking structures below grade will not be counted in this ratio.)
2. Maximum building heights: No greater than that allowed by FAA. A copy of the approved FAA building height shall be submitted prior to obtaining building permits.
3. Building setbacks:  
  
Public street right-of-way: Structures shall be setback 15 feet from the property line along Inwood Road.  
  
Public alleys and service ways: established on site plan.  
  
Side property lines: established on site plan.  
  
Rear property lines: zero (0) rear yard setback required.

E. SITE COVERAGE AND LANDSCAPE

1. The gross building footprint of buildings and parking garages should not exceed 60 percent of the gross site area.
2. The landscaped open space shall be not less than five percent of the gross site area.
3. Landscaped areas shall be interpreted to mean zones of grass, ground cover, trees and shrubs, paved and landscaped areas for pedestrian uses and lakes, fountains and water treatments, and sculptures.

4. The 15' setback area along Inwood Road shall be a landscaped area.
- F. PARKING SHALL BE PROVIDED FOR THE PROPOSED USES AT THE FOLLOWING MINIMUM RATIOS, AND SHALL BE ACCOMMODATED AT GRADE OR IN STRUCTURES:
1. The final parking requirements shall be determined on the site plan.
  2. Parking for Phase I of the development shall be installed at a ratio of one space per 300 square feet of gross floor area.
  3. Parking for other phases of the development may be installed at a ratio other than that for Phase I, provided it has been determined, by the City, that less parking will adequately serve the development. In no case may the parking be installed at a ratio less than 1 space per 333 sq. ft. of gross floor area.
- G. SERVICE FACILITIES
1. All offices shall provide and maintain off-street loading facilities in the quantities stated below:
    - a. Office uses:
      - 1) 0 to 50,000 gross square feet: no spaces
      - 2) 50,000 to 150,000 gross square feet: 1 space
      - 3) Each additional 100,000 gross square feet: 1 space
    - b. Refuse collection shall be the sole responsibility of the developer and the owners.
    - c. Should at any time the collection of refuse from the development interfere with traffic in Inwood Road, such as the collection truck backing into Inwood Road; or block, halt or create any nuisance or hazard within Inwood Road or the development, the City may restrict the method and or times of collection. The implementation of this restricted time of collection shall be no later than 30 days after notice from the Building Official.
    - d. A structure containing more than one use must meet the loading requirements of each use unless one use occupies 90 percent or more of the gross building area, in which case the loading requirement is calculated as if that use occupied the entire structure.

- e. Loading facilities for more than one building may be provided in a common terminal if connections between building and terminal are off-street.
- f. Loading facilities shall be designed to minimize interference with traffic flow.

#### H. STREETS

1. All streets shall be constructed in conformance with City engineering design criteria.
2. No vehicle stacking lanes shall be allowed within the Inwood Road right-of-way or within the fifteen foot setback line along Inwood Road.
3. Vehicle stacking requirements shall be provided by the developer and approved by the City.

#### I. PHASING

If a tract is to be developed in phases under this Planned Development Ordinance, each sub-tract shall conform to the basic performance standards of the Planned Development Ordinance, as though it were a separate site.

### II. REQUIRED SUBMISSIONS

#### A. CONCEPTUAL DEVELOPMENT PLAN

The following are submittal requirements for approval of a conceptual development plan under the proposed Planned Development designation for an entire site.

1. A vicinity map at a scale not smaller than 1 inch = 2,000 feet.
2. A boundary survey of the property, including the following:
  - a. Metes and bounds of all property lines
  - b. Total area of property
  - c. Scale and north arrow
  - d. Names and route numbers of boundary streets and rights-of-way
  - e. Existing topography with a maximum contour interval of two feet.
3. A statement confirming ownership of the subject property and stating the place of the record of the latest instrument in the chain of title.



4. An aerial photograph of the subject property and all adjacent properties within at least 500 feet.
5. A generalized land use plan showing approximate location of proposed land uses, circulation corridors and public utility corridors. This should include a statement of maximum allowable building and parking space and anticipated building heights as allowed by the Planned Development Ordinance.
6. A statement or visual presentation of how adjacent and neighboring properties shall be affected by the proposed development. This statement should address vehicular access plan, site context and existing and anticipated land uses.

B. DETAILED DEVELOPMENT PLAN

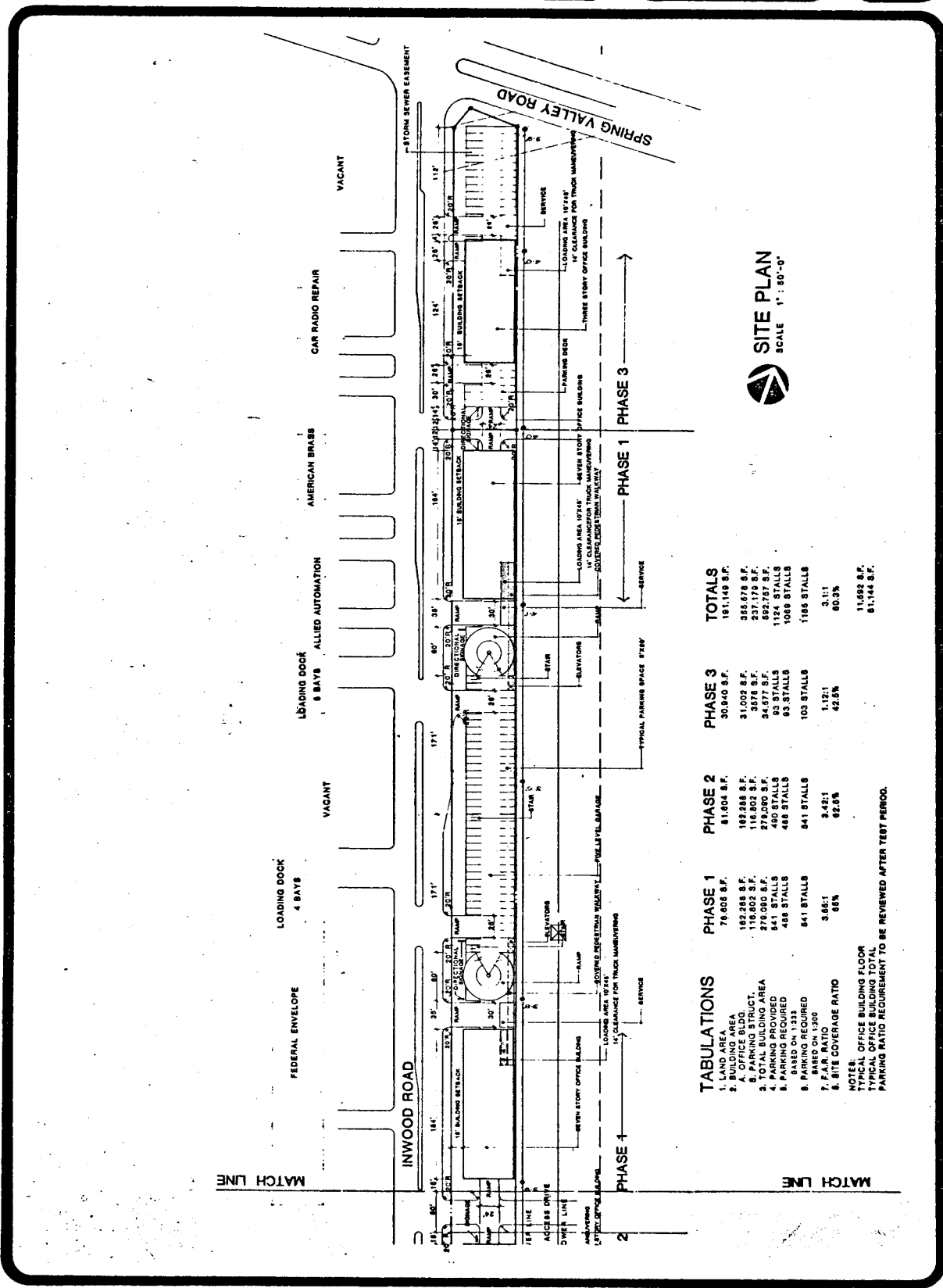
The following are submittal requirements for approval of a detailed development plan under the proposed Planned Development designation. This submittal would address a particular phase of a project and would be required before building permits would be considered:

1. A vicinity map at a scale not smaller than 1 inch = 2,000 feet.
2. A boundary survey of the property, including the following:
  - a. Metes and bounds of all property lines
  - b. Total area of property
  - c. Scale and north arrow
  - d. Names and route numbers of boundary streets and rights-of-way
  - e. Existing topography with a maximum contour interval of two feet.
3. A detailed scaled site plan showing:
  - a. Existing and proposed public and private streets
  - b. Existing and proposed building or parking structure locations, including size in number of square feet, number of floors and proposed approximate average height above grade.
  - c. Existing and proposed utility easements and fire lanes.
  - d. Landscape plan showing proposed vegetation zones and their relationship to adjacent properties.
  - e. Proposed at-grade parking lots and loading facilities.

- f. A statement of proposed floor area ratio, site coverage ratio, landscaped area ratio and the relationship between these figures and the standards set forth in the Planned Development designation.
- g. Proposed on-site identification and directional signage.
- h. Letters from proper authorities, as determined by the City, approving the development, such as the Federal Aviation Authority and the Texas Turnpike Authority.

C. COVENANTS

Owners Association Covenants and restrictions must be submitted for approval by the City.



**SITE PLAN**  
 SCALE 1" = 80'-0"

TOTALS
161,148 S.F.
366,978 S.F.
237,179 S.F.
1274 STALLS
1068 STALLS
1188 STALLS
3.11
60.3%
11,682 S.F.
81,144 S.F.

PHASE 3
30,840 S.F.
31,002 S.F.
42,076 S.F.
83 STALLS
83 STALLS
103 STALLS
1,121
42.5%

PHASE 2
81,604 S.F.
192,288 S.F.
278,080 S.F.
488 STALLS
488 STALLS
841 STALLS
3,421
92.5%

PHASE 1
78,608 S.F.
192,288 S.F.
278,080 S.F.
841 STALLS
488 STALLS
841 STALLS
3,661
95%

**TABULATIONS**  
 1. LAND AREA  
 2. BUILDING AREA  
 A. OFFICE BUILDING  
 B. PARKING STRUCT.  
 3. TOTAL BUILDING AREA  
 4. PARKING PROVIDED  
 5. PARKING REQUIRED  
 6. PARKING REQUIRED BASED ON 1:333  
 7. F.A.R. RATIO  
 8. SITE COVERAGE RATIO

**NOTES:**  
 TYPICAL OFFICE BUILDING FLOOR  
 TYPICAL OFFICE BUILDING TOTAL  
 PARKING RATIO REQUIREMENT TO BE REVIEWED AFTER TEST PERIOD.

**EXHIBIT A**



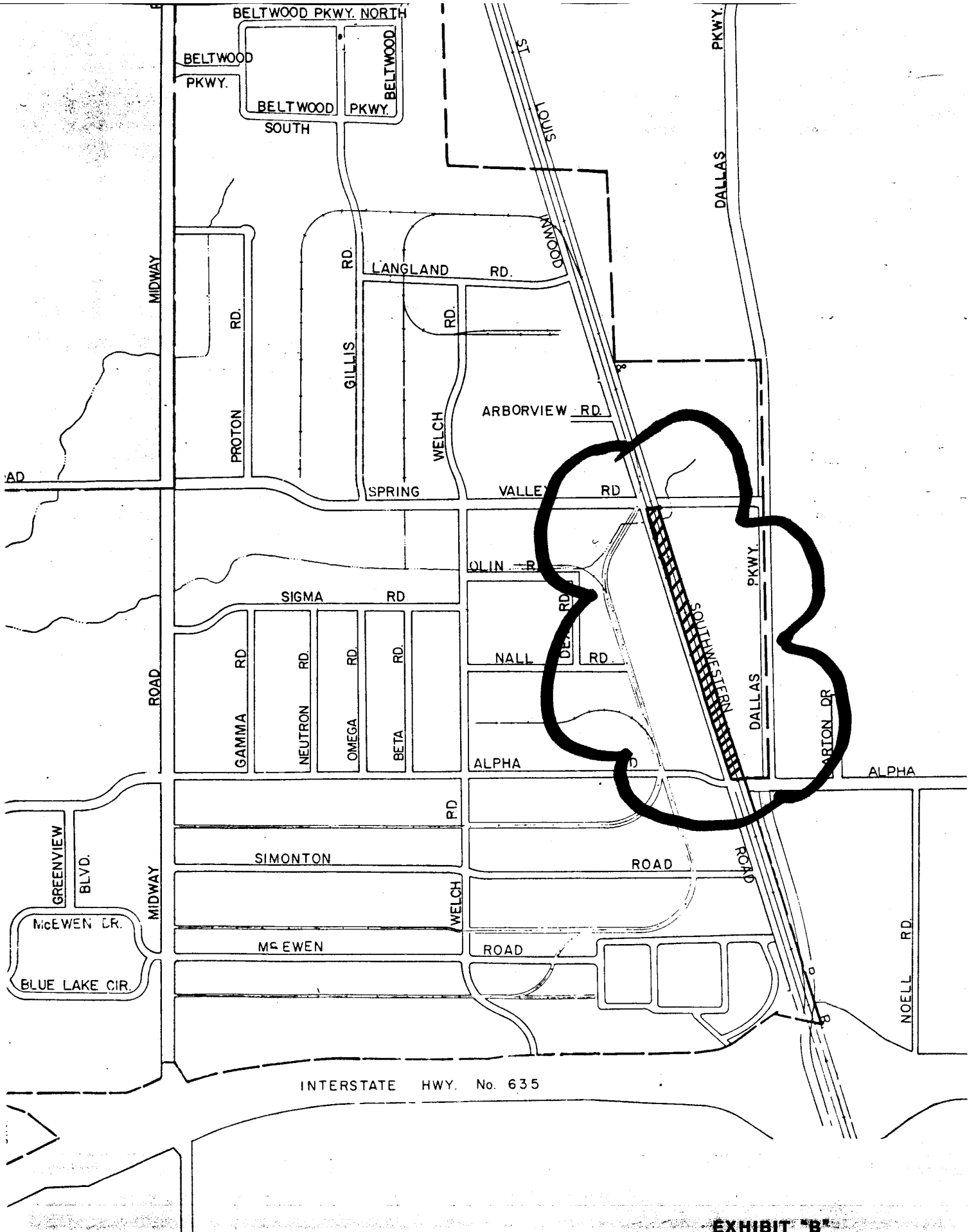
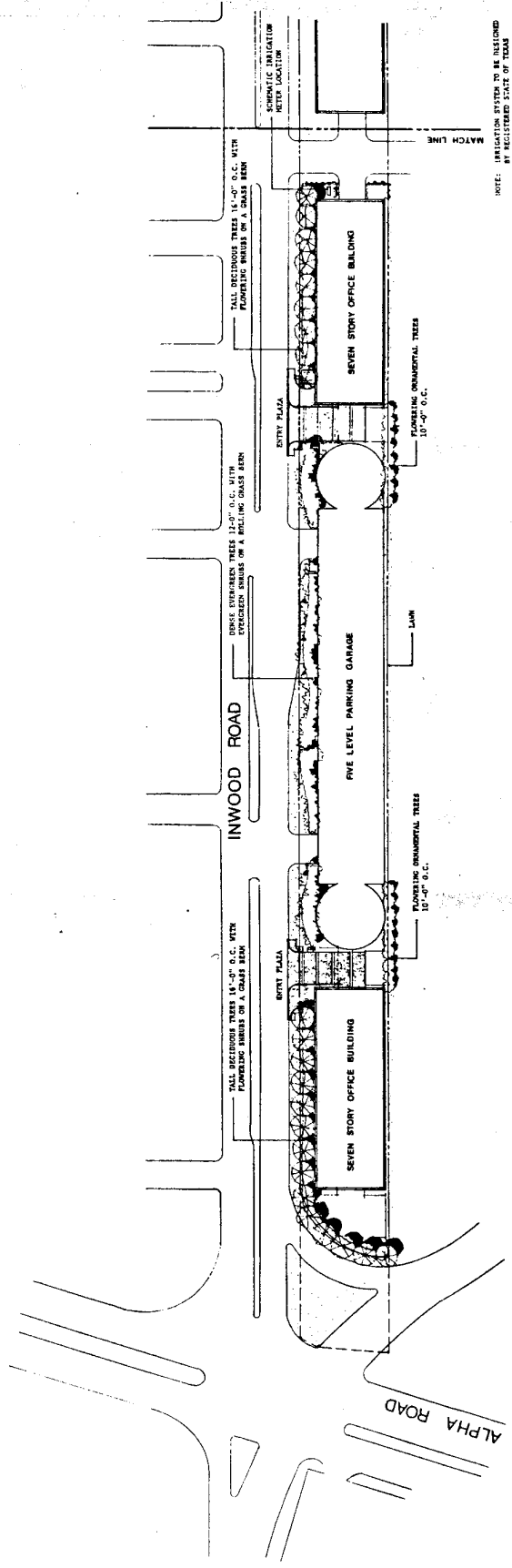
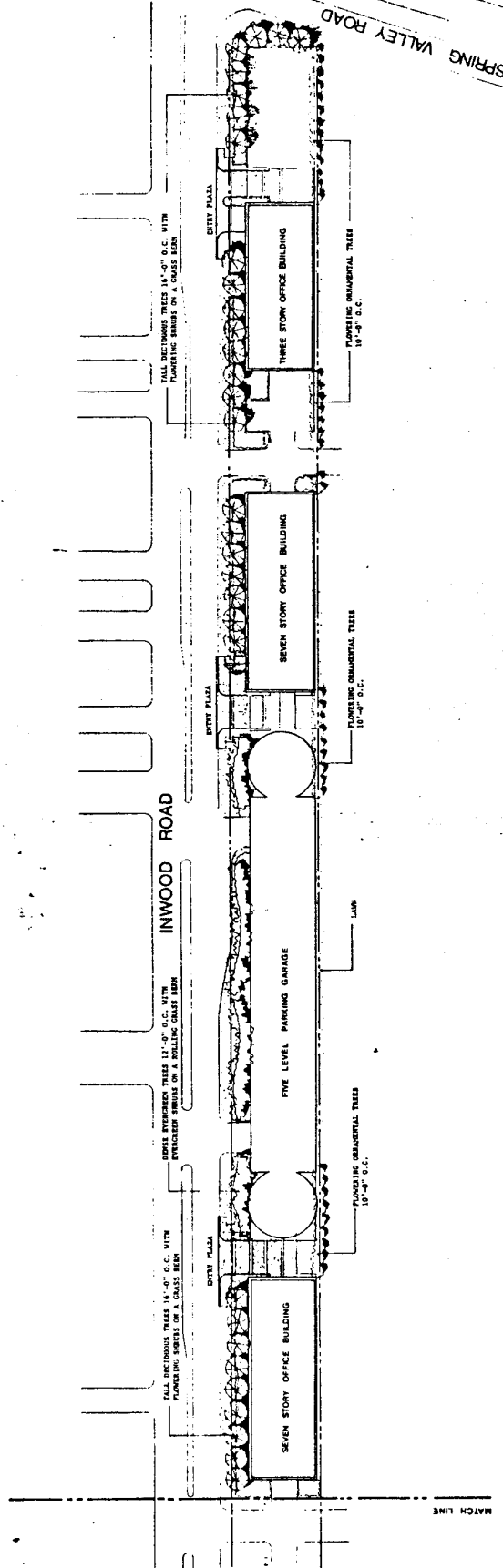



EXHIBIT "B"

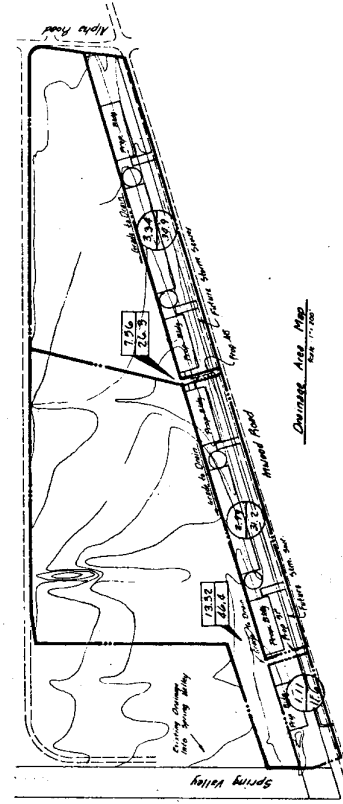
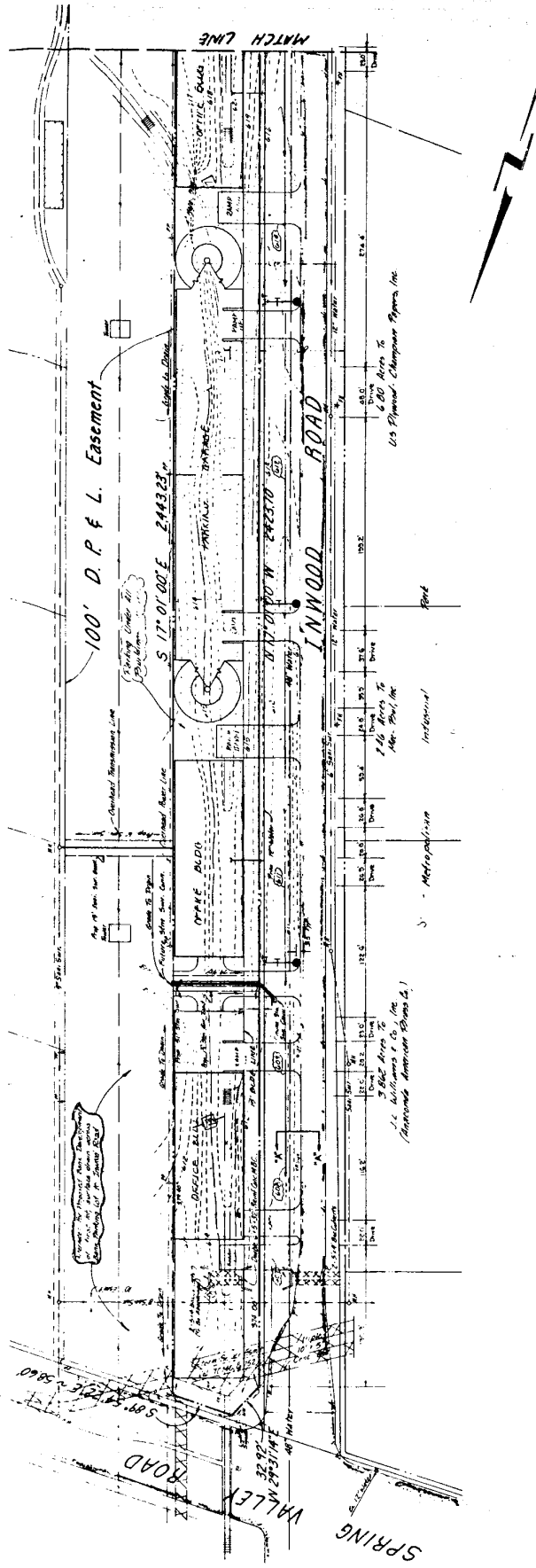


NOTE: IRRIGATION SYSTEM TO BE INSTALLED AT REGISTERED STATE OF COLORADO IRRIGATION DESIGNER. IRRIGATION PLANS WILL BE APPLICABLE WITH BUILDING PERMIT SUBMITTALS.

**ILLUSTRATIVE LANDSCAPE PLAN**  
 SCALE 1" = 50'-0"




**ILLUSTRATIVE LANDSCAPE PLAN**  
 SCALE 1" = 50' 0"



SECTION "A-A" TYPICAL  
 24" DIA. DRAINAGE DITCH  
 C. 24" DIA. DRAINAGE DITCH  
 Q = (0.05) (40) (177) (8) (0.004) \*

**Drainage Design Data**

- Q - C.I.F.A.
- C - 0.05 Fully Developed
- A - Area in Acres
- 1641 Drainage Area = 20.9 AC
- Q = 0.05 \* 1641 \* 1.49 = 124.3 (Fully Developed)
- Q = 0.05 \* 1641 \* 1.49 = 124.3 (Existing)
- Q = 0.05 \* 1641 \* 1.49 = 124.3 (Existing)

**LEGEND:**

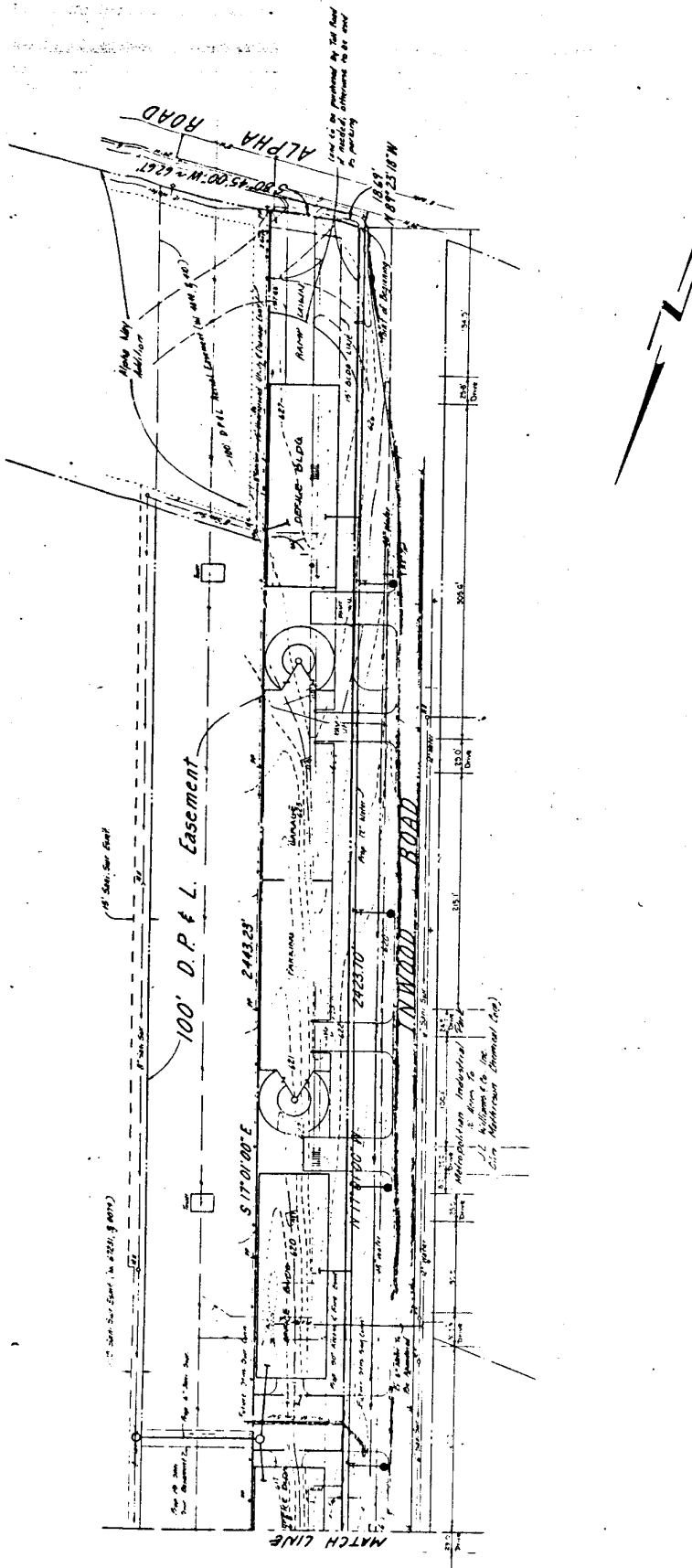
- Drainage Line (Proposed)
- Spot Grade
- Pipe Centerline
- E. Centerline
- 12" DIA. DRAINAGE DITCH
- 18" DIA. DRAINAGE DITCH
- 24" DIA. DRAINAGE DITCH
- 36" DIA. DRAINAGE DITCH
- 48" DIA. DRAINAGE DITCH

Project No.: 101-10-1000-101  
 Date: 11-1-1011

RAYMOND I. GOBDON, JR., INC. CONSULTING ENGINEERS  
 1100 DALLAS STREET, SUITE 1100  
 DALLAS, TEXAS 75204







Intended Use of Property: Office Development

- NOTES:**
1. See sheet 24.1 for Easement Drawings
  2. Easement will be restricted along Howard Rd.
  3. Existing Garage Ramp Driveway will be changed into existing driveway along Howard Rd. after permit review & construction.

**FIELD NOTES:**

Being a part of land in the State Line Survey, Abstract No. 518, and the John Hancock Survey, Abstract No. 42, the following is a description of the portion of the right-of-way for the "L" Branch of the St. Louis and Northwestern Railway Company of Illinois and Mississippi, as described as follows:

**SECTION 24, T23N, R23W:** East along said easterly line of town road, a distance of 1833.76 feet to the intersection of the easterly line of town road (100 feet right-of-way) as defined by a 20 foot street widening, the easterly line of town road as recorded in Volume 752, Page 208 of the land records of Dallas County, Texas.

**SECTION 25, T23N, R23W:** West along said easterly line of town road, a distance of 1833.76 feet to the intersection of said easterly line and the southerly line of Spring Valley Road (100 feet right-of-way).

**SECTION 24, T23N, R23W:** East along said easterly line of town road, a distance of 1833.76 feet to the intersection of said easterly line and the southerly line of said Spring Valley Road.

**SECTION 25, T23N, R23W:** East along said easterly line of town road, a distance of 1833.76 feet to the intersection of said easterly line of town road and the southerly line of said Spring Valley Road.

**SECTION 24, T23N, R23W:** East along the westerly line of a 100 foot Dallas Power and Light easement as recorded in Volume 431, Page 308 of the land records of Dallas County, Texas, a distance of 2641.21 feet to an iron rod in the corner on the east northerly right-of-way line of Alpha Road.

**SECTION 25, T23N, R23W:** West along said northerly line of right-of-way line of Alpha Road a distance of 82.67 feet to an iron rod in the corner.

**SECTION 24, T23N, R23W:** West commencing along said northerly line of Alpha Road a distance of 18.46 feet to the 100 foot right-of-way line, and continuing 141.10 feet more at 100' or 2.1888 acres.

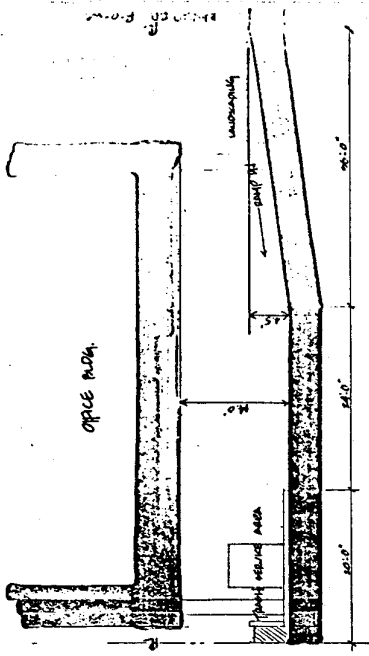


**STATE PLAN OF MEASUREMENT ACT**  
 1909 AND 1917  
 410 MULTIPLE STATE L.S. 1111  
 200401011  
**BATHOUS I. GOODSON, JR., INC. CONSULTING**  
 11000 GARDEN VALLEY TRAIL, HOUSTON, TEXAS



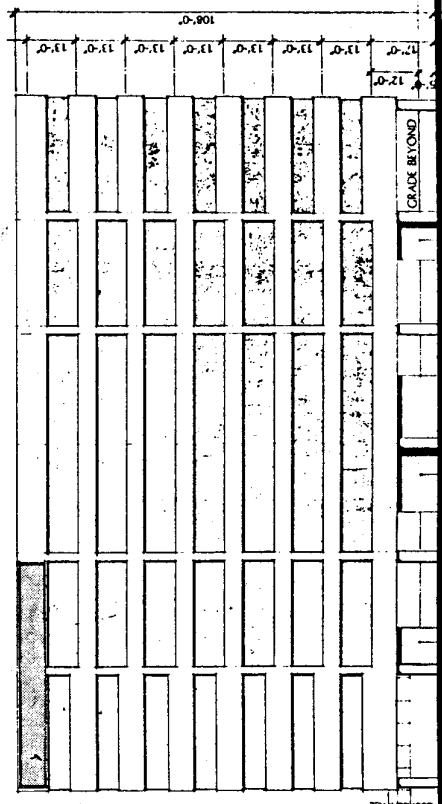
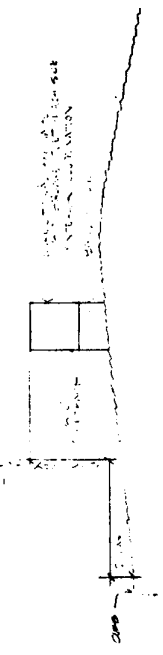
Scale: 1" = 50'

Office Bldg.



SERVICE AREA SECTION

SIGNAGE SCHEMATIC



STAIR

STAIR

LOBBY & ELEVATORS

STAIR

STAIR

STAIR

STAIR

ELEVATION  
SCALE 1/8" = 1'-0"

SEVEN STORY OFFICE BUILDING  
SIX LEVELS OF PARKING

Garage Area

CLEARANCE

SERVICE PICK-UP

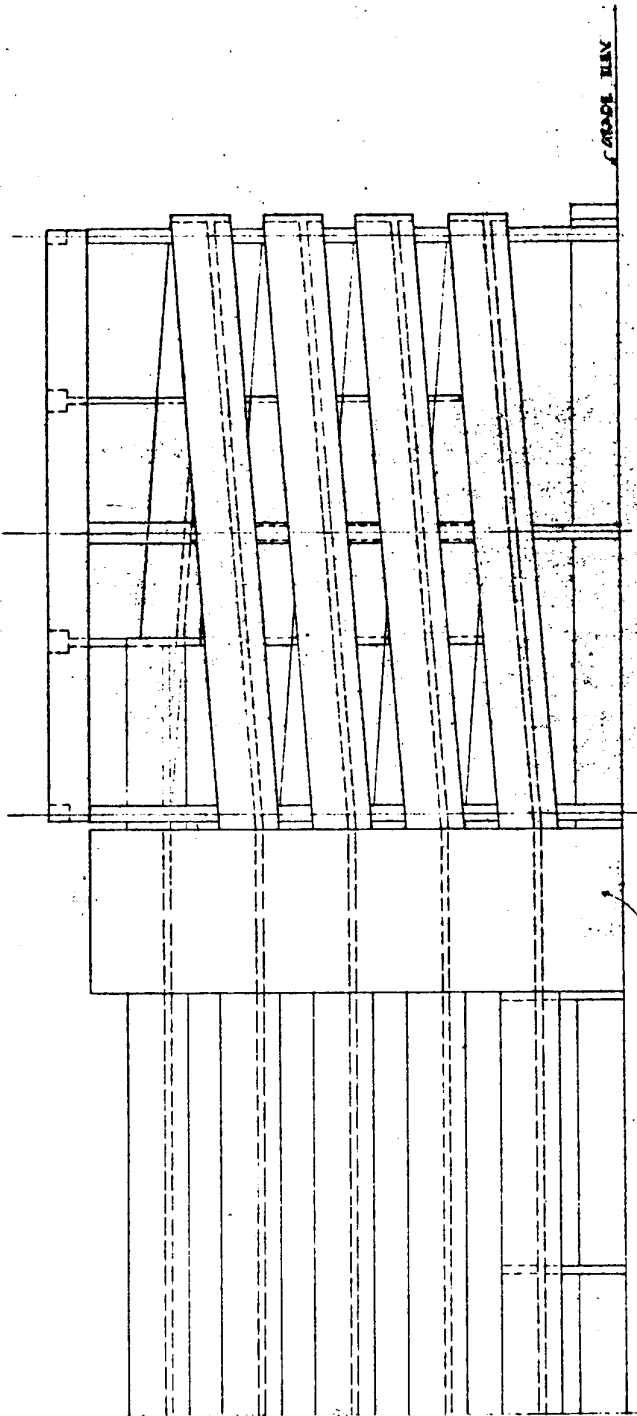
PEDESTRIAN WALKWAY

ELEV. & STAIR

RAMP

STAIR

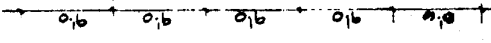
GRADE AT ENTRY

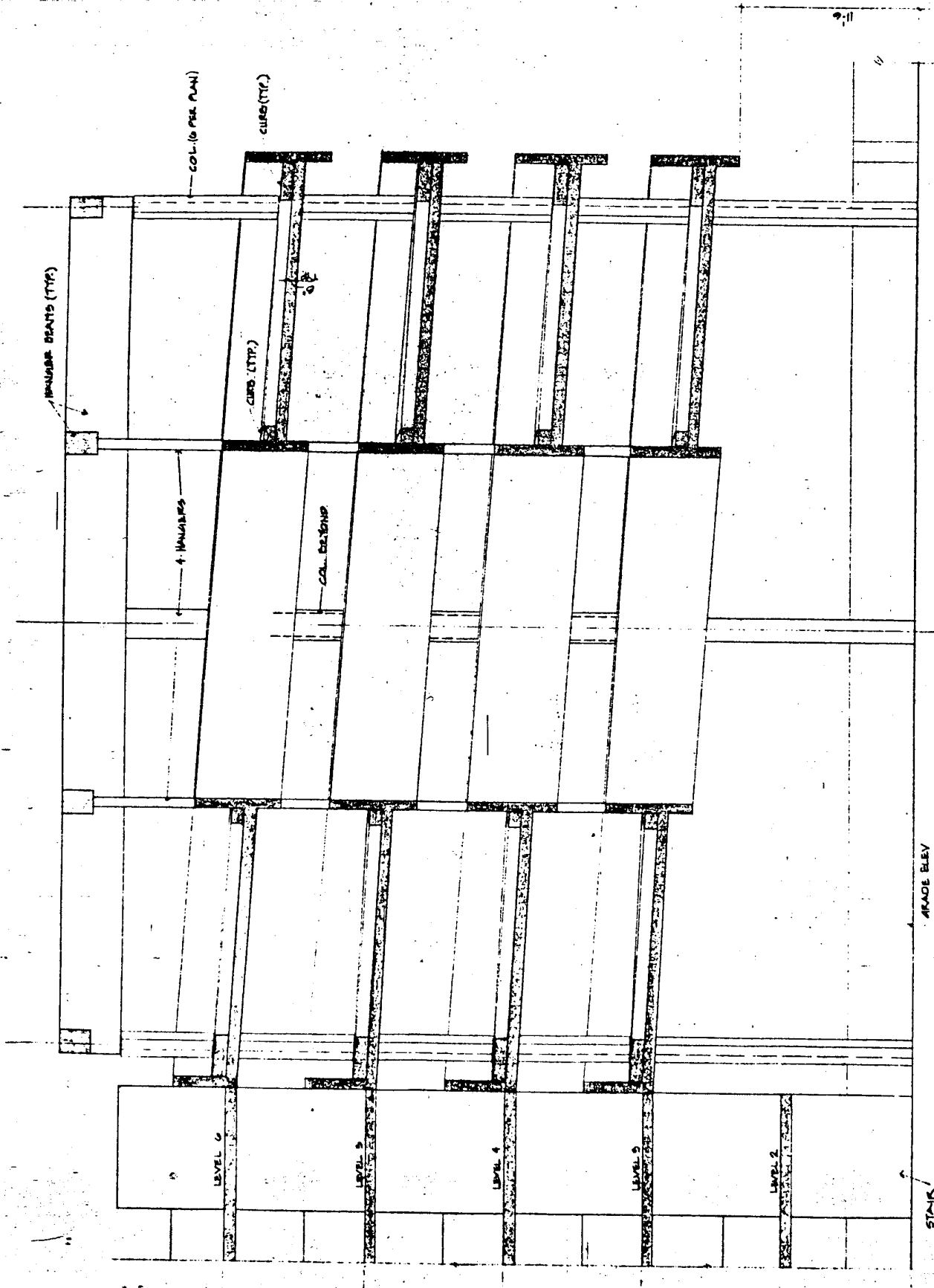


CARPENTER LEVEL

ELEVATOR

ELEVATION  
SCALE 3/16





SECTION 1  
SCALE 1/4"=1'-0"