



FARMERS BRANCH

ORDINANCE NUMBER 2184

PD-45

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED; BY AMENDING THE "ALLOWABLE USES" ESTABLISHED UNDER ORDINANCE NO. 1445 FOR THE PLANNED DEVELOPMENT NO. 45 ZONING DISTRICT (PD-45); PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR INJUNCTIVE RELIEF; AND PROVIDING AN EFFECTIVE DATE.

Whereas, the Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the Charter of the City of Farmers Branch, and the State Law with reference to amendments to the Zoning Ordinance Regulations and Zoning Map, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the governing body of the City of Farmers Branch is of the opinion that said change in zoning use should be made;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, be, and the same is hereby amended, by amending the allowable uses established within Ordinance No. 1445 to read as follows:

Allowable Uses: Office, hotel, retail, and storage and lab uses in conjunction with office and retail uses, and high density residential uses, (35 dwelling units/acre and above), on not more than 15 percent of the total site area when approved on a detailed development plan. The intent of this ordinance is not to create a residential development, but to allow dwellings, such as high-rise condominiums, as a support use to office, hotel, and retail development.

SECTION 2. If any section, paragraph, subdivision, clause, phrase, provision or word of this ordinance shall be judged invalid or unconstitutional such judgement shall not affect the remainder of this ordinance.

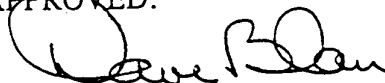
SECTION 3. In addition to and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

SECTION 4. That any person, firm or corporation violating any of the provisions or terms of the ordinance shall be subject to the same penalty provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, and upon conviction shall be punishable by a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense.

SECTION 6. This ordinance shall take effect immediately from and after its passage and publication of the caption of said ordinance, as the law in such case provides.

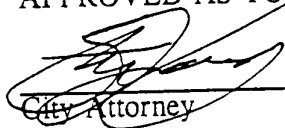
DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH,
TEXAS, on this the 5th day of June, 1995.

APPROVED:



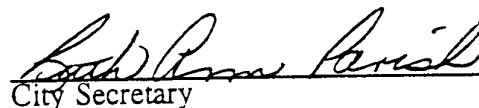
Mayor

APPROVED AS TO FORM:



City Attorney

ATTEST:



City Secretary

BEING LOT ONE (1), BLOCK "A" of THE LAKES ON LBJ NORTH, 1ST INSTALLMENT, an addition to the City of Farmers Branch, Texas, according to the Map thereof recorded in Volume 80153, Page 2450, Map Records of Dallas County, Texas, and being more particularly described by the following metes and bounds description:

Situated in Dallas County, Texas, and being a 7.0297 acre tract of land out of the WM. P. SHAHAN SURVEY, ABSTRACT NO. 1337, and being more particularly described by metes and bounds as follows:

BEGINNING at a point for corner in the North Right-of-Way line of Crown Drive (64' R.O.W.), said point being a distance of 15.00 feet East of the intersection of said Right-of-Way line with the East Right-of-Way line of Luna Road (100' R.O.W.);

THENCE North 44 deg. 36 min. 54 sec. West a distance of 14.05 feet to a point for corner;

THENCE North 00 deg. 46 min. 13 sec. East 5.00 feet East of and parallel to the East Right-of-Way line of Luna Road, a distance of 507.51 feet to a point for corner in the south right-of-way line of a proposed street;

THENCE East along said proposed right-of-way line, a distance of 300.00 feet to a point for corner;

THENCE North 71 deg. 51 min. 54 sec. East continuing along said proposed right-of-way line, a distance of 57.82 feet to a point for corner;

THENCE East continuing along said proposed right-of-way line, a distance of 173.00 feet to the point of beginning for a curve to the left, said curve having a central angle of 02 deg. 51 min. 56 sec. and a radius of 1032.00 feet;

THENCE along said curve to the left and continuing along said proposed right-of-way line, a distance of 52.61 feet to a point for corner;

THENCE South a distance of 536.75 feet to a point for corner in the North right-of-way line of Crown Drive;

THENCE West along the North right-of-way line of Crown Drive, a distance of 576.49 feet to the Point of Beginning and containing 306,217.65 square feet or 7.0297 acres of land, more or less.

6.9257 A. (As shown on Abstract

EXHIBIT "C"