



ORDINANCE NO. 2481

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED; BY CHANGING THE ZONING CLASSIFICATIONS OF CERTAIN PROPERTIES FROM PLANNED DEVELOPMENT NO. 43 AND PLANNED DEVELOPMENT NO. 48 ZONING DISTRICT TO PLANNED DEVELOPMENT NO. 80 (PD-80); INCLUDING APPROXIMATELY 13.995 ACRES OF PROPERTY GENERALLY LOCATED IN THE SOUTHWEST QUADRANT OF THE ALPHA ROAD AND INWOOD ROAD INTERSECTION AND BOUNDED BY ALPHA ROAD TO THE NORTH, INWOOD ROAD TO THE EAST, SIMONTON ROAD TO THE SOUTH AND THE ST. LOUIS AND SOUTHWESTERN RAILROAD AS WELL AS THE METROPOLITAN INDUSTRIAL PARK ADDITION TO THE WEST AND; REPEALING ORDINANCES 1428, 1491, 2122 AND 2123; ESTABLISHING NEW DEVELOPMENT STANDARDS AND PERMITTED USES AND PROVIDING A SAVINGS CLAUSE; PROVIDING FOR INJUNCTIVE RELIEF; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000.00); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Farmers Branch deems it necessary, for the purpose of promoting the health, safety, morals, or general welfare of the City to enact a new zoning ordinance; and

WHEREAS, the City Council has appointed a Planning and Zoning Commission to recommend the boundaries of the various original zoning districts and appropriate regulations be enforced therein and to recommend changing the zoning on the following described tracts of land from Planned Development No. 43 and Planned Development No. 48 (PD-43 and 48) to Planned Development No. 80 (PD-80); and

WHEREAS, the Planning and Zoning Commission has divided the City into districts and has prepared regulations pertaining to such districts in accordance with a comprehensive plan and designed to lessen congestion in the streets; to secure safety from fire, panic, and other dangers; to promote health, general welfare; to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population; to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements; and

WHEREAS, the Planning and Zoning Commission, has given reasonable consideration, among other things, to the character of the districts and their peculiar suitability for particular uses, with a view to conserving the value of buildings and encouraging the most appropriate use of land throughout the City; and

WHEREAS, the City Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the Charter of the City of Farmers Branch, and the State Law with reference to changes to zoning classifications under the Zoning Ordinance Regulations and Zoning Map, having given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the governing body of the City of Farmers Branch is of the opinion that said change in zoning should be made;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS:

SECTION 1. That all the foregoing premises and findings are found to be true and correct and are incorporated into the body of this ordinance as if copied in their entirety.

SECTION 2. That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, be, and the same is hereby amended by changing the zoning on the following described tracts of land from Planned Development No. 43 and Planned Development No. 48 to Planned Development No. 80 (PD-80) zoning district and establishing new development standards and permitted uses, approximately 13.995 acres in area, as set forth in Exhibit "B". Said property being shown on Exhibit "A" and more specifically described as follows:

Being a certain tract of land located in the City of Farmers Branch, Dallas County , Texas within the Elisha Fike Survey Abstract 478, and the Mary Brown Survey Abstract 159 and being a part of Lot A Block 2, and the east portion of Lot B Block 2 as shown on a plat of the Metropolitan Industrial Park Section 1, recorded in Volume 363, Page 1216 in the map records of Dallas County, Texas , and being all of that certain tract as described by deed from Robert W. More to MTV Real Estate Limited Partnership dated October 10, 1996 and recorded in Volume 96206, Page 02283 in the Deed Records of Dallas County, Texas, and being all of a called 5.013 acre tract as described by deed from Sandia Federal Savings Association to RWM Lamar Building Corporation dated April 27, 1993 and recorded in Volume 93083, Page 7043 in the deed records of Dallas County, Texas, and being more completely described as follows:

Beginning at a 1/2 inch iron rod with cap (found) located at the intersection of the west right of way line of Inwood Road, and the north right of way line of Simonton Road, same being the southeast corner of said MTV Real Estate tract;

Thence south 89 Degrees 42 Minutes 00 Seconds west with the north right of way line of Simonton Road and the south line of said MTV Real Estate Tract, continuing with the south line of said 5.13 acre tract passing a 1/2 inch iron rod (found) at 726.53 feet for the southwest corner of said Bankston Addition, continuing a total distance of 976.58 feet to a 1 inch pipe (found) being the southwest corner of said 5.013 acre tract;

Thence north 00 Degrees 18 Minutes 34 Seconds west with the west line of said 5.013 acre tract a distance of 379.89 feet to a 1 inch pipe (found) for a western corner of same and being in a curve to the left;

Thence continuing with said west line, and of said curve to the left having a delta of 50 Degrees 12 Minutes 02 Seconds, a radius of 321.51 feet, a tangent distance of 150.61 feet, a chord which bears north 37 Degrees 31 Minutes 28 Seconds east, a distance of 272.77 feet, and an arc distance of 281.69 feet to a 1/2 inch iron rod (found) at the end of said curve from which a 5/8 inch iron rod (found) bears south 55 degrees 50 Minutes 34 Seconds west a distance of 0.68 feet;

Thence north 12 Degrees 25 Minutes 26 Seconds east continuing with said west line passing a 1/2 inch iron rod (found) at 57.78 feet, continuing a total distance of 156.17 feet to a 1/2 inch iron rod with cap (found) for an ell corner in said west line of 5.013 acre tract;

Thence north 77 Degrees 32 Minutes 16 Seconds west a distance of 20.01 feet to an "X" scribed in steel plate in the center line of a railroad track, and being the beginning of a curve to the left;

Thence continuing with said west line and said curve to the left having a delta of 05 Degrees 21 Minutes 02 Seconds, a radius of 459.27 feet, a tangent distance of 21.46 feet, a chord which bears north 09 Degrees 43 Minutes 45 Seconds east a distance of 42.87 feet, and an arc distance of 42.89 feet to a 1/2 inch iron rod with cap (found) in the south right of way line of Alpha Road, same being the northwest corner of said 5.013 acre tract;

Thence north 89 Degrees 41 Minutes 07 Seconds east with said right of way line and the north line of said 5.013 acre tract, passing a 1/2 inch iron rod (set) at 42.01 feet for the northeast corner of same, and being the northwest corner of the aforementioned MTV Real Estate tract, continuing with the north line of said MTV Real Estate tract and said right of way, a total distance of 274.53 feet to a 5/8 inch iron rod (found) and being the beginning of a curve to the right;

Thence continuing with said south right of way line, and the said curve to the right having a delta of 28 Degrees 43 Minutes 36 Seconds, a radius of 228.21 feet, a tangent of 58.44 feet, a chord which bears south 75 Degrees 57 Minutes 05 Seconds east a distance of 113.22 feet, and an arc distance of 114.42 feet to a 5/8 inch iron rod (found) at the beginning of a reverse curve to the left;

Thence continuing with said south right of way line, and said curve to the left having a delta of 28 Degrees 47 Minutes and 52 Seconds, a radius of 347.45 feet, a tangent distance of 89.20 feet, a chord which bears south 75 Degrees 59 Minutes 13 Seconds east a distance of 172.80 feet, and an arc distance of 174.64 feet to a 1/2 inch iron rod with cap (found) at the end of said curve;

Thence north 89 degrees 42 Minutes 08 Seconds east continuing with said south right of way line a distance of 18.08 feet to a 1/2 inch iron rod with cap (found) in the west right of way line of Inwood Road, same being the northeast corner of said MTV Real Estate tract;

*Thence south 17 Degrees 00 Minutes 49 Seconds east with said west right of way line and the east line of said MTV Real Estate tract a distance of 755.53 feet to the **Point of Beginning** containing 13.994 acres or 609,582 square feet of land.*

SECTION 3. That all uses in the Planned Development No. 80 zoning district (PD-80) shall conform in operation, location and construction to the development standards as set forth in Exhibit "B", and to the extent not in conflict with Exhibit "B", to the development and performance standards as established by the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas.

SECTION 4. That this Ordinance repeals Ordinance 1428, 1491, 2122, and 2123.

SECTION 5. That the above described tracts of land shall be used only in the manner and for the purposes provided by the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas as heretofore amended, and as amended herein.

SECTION 6. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, and upon conviction shall be punishable by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense.

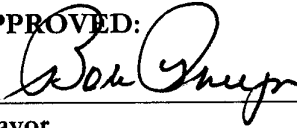
SECTION 7. If any section, paragraph, subdivision, clause, phrase or provision of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as a whole or any portion thereof other than that portion so decided to be invalid or unconstitutional.

SECTION 8. In addition to and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

SECTION 9. Whereas, it has been found that there has been a change in conditions in the above described property, it is now necessary that it be given the above zoning classification in order to permit its proper development and in order to protect the public interest, comfort and general welfare, and requires that this ordinance shall take effect immediately from and after its passage.

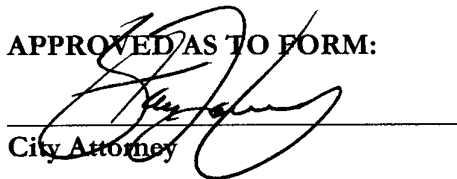
DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS,
on this the 21st of June, 1999.

APPROVED:




Mayor

APPROVED AS TO FORM:



City Attorney

ATTEST:

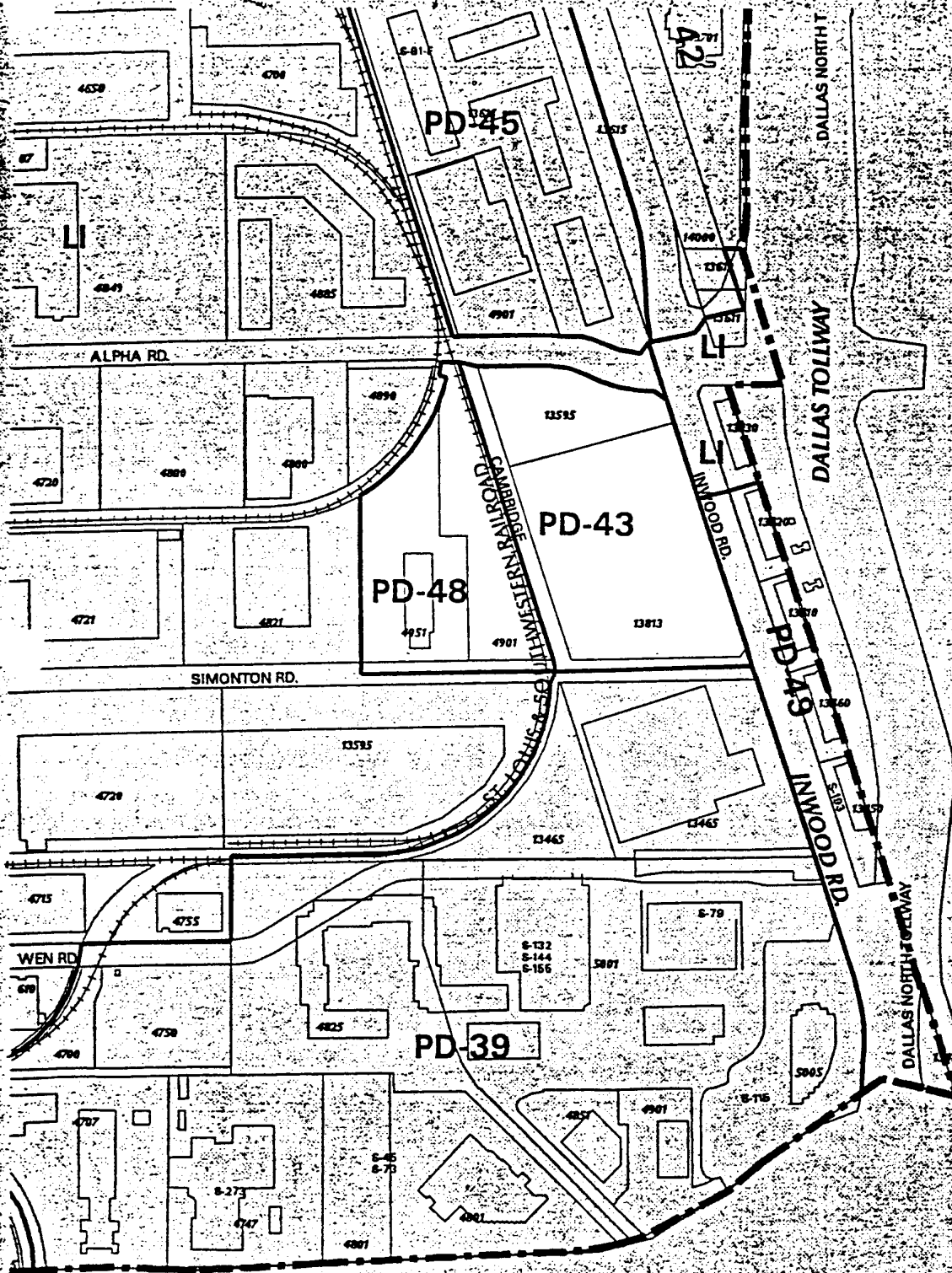


City Secretary

EXHIBIT "A"



1" = 400ft.



I. H. 635

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Exhibit B

STANDARDS FOR PLANNED DEVELOPMENT ZONING DISTRICT NUMBER 80 (PD-80)

STATEMENT OF PURPOSE:

The PD-80 zoning ordinance amends the PD-48 and PD-43 permitted uses (listed in Article 8, Sections 104, 107, 113, and 114 of the Comprehensive Zoning Ordinance), and the development standards.

This district is established for the following purposes:

1. To encourage a more creative approach in land planning, and superior site and structural design and development.
2. To provide for a use of land with high functional value.
3. To assure compatibility of land uses, both within the district and with adjacent areas.
4. To provide maximum adaptability and feasibility in zoning and development controls to meet the changing and diverse needs of the City of Farmers Branch.

The Planned District is designed to permit, within a single zoning district, multi-use commercial complexes, or land use combinations of commercial and non-commercial uses, or single-use commercial projects. The primary objective is to encourage development which achieves a high degree of excellence in planning, design or function, and can be intermixed, grouped or otherwise uniquely located with maximum cohesiveness and compatibility.

A PERMITTED USES

1) The following uses shall be permitted within the District:

Retail Uses

Antique shop
Bakery or confection shop
Barber shop
Cafeteria
Cleaning, pressing small shop and pickup
Drapery, needlework or weaving Shop
Florist or garden shop
Household appliance sales with minor service
Pet shop, small animals, and related, no outside runs

Non drive-in restaurant without outside sales window
Beauty shop
Optical shops
Mimeograph, stationery or letter shop
Paint, wallpaper and related
Retail stores and shops – other than listed
Small hand-tool and hand carried equipment (indoor)
Furniture sales

Office Uses

Offices, professional and administrative
Banks and savings and loan

Medical and dental offices and clinics
Travel agencies

2) The following uses shall be permitted only by the grant of a Specific Use Permit:

Commercial Uses

Hotel/Motel	Greenhouse plants or nursery stock
Outside storage, sales, and display (see Section B1c for development standards)	(Retail)
	Theater (indoor)

Light Industrial Uses

Light Industrial uses as herein identified shall be permitted as a primary use by the grant of a Specific Use Permit and only on the 3.22 acre parcel, located to the west of the proposed relocated railroad spur and specifically defined by the legal description in Exhibit C.

Warehouse (completely enclosed within a building)	Distribution operation (completely enclosed within a building)
	Light Manufacturing, assembly or repair

B DEVELOPMENT STANDARDS

The following standards shall be followed in the design, location, and siting of structures and other development features within the Planned Development No. 80 (PD-80) zoning district. A detailed site plan will be required for each development as described in Section C2 of this Ordinance. Exceptions to these development standards may be requested by the developer and shall be considered as a part of the site plan approval.

1. Use

- a. All development within the PD-80 District, whether constructed at one time or in phases, shall be done in strict accordance with all requirements established by the City, including but not limited to these standards.
- b. All uses shall be permitted only in locations specifically designated on a site plan, approved by the City Council following a recommendation of the Planning and Zoning Commission.
- c. No significant change to an approved site plan shall be permitted unless an amended site plan showing the proposed change is resubmitted in accordance with all requirements herein stipulated and approved by the City Council following a recommendation of the Planning and Zoning Commission.
- d. The exterior display, storage, or sales of merchandise or products is allowed only subject to approval of a Specific Use Permit, provided such display or storage is:
 - i. Accessory to primary use of the structure immediately adjacent to the location of the exterior display or storage area;
 - ii. Located immediately adjacent to the primary structure but not within any required setback;
 - iii. Less than two (2) percent of the total gross floor area of the enclosed structures and buildings immediately adjacent to the exterior display or storage area; and

- iv. Effectively contained by a solid or ornamental fence that is architecturally compatible in design and material with the primary structure. Chain link fence shall not be allowed.

2. Floor Area Ratio (FAR) Overall maximum floor to area ratio for the entire PD-80 is 4:1. Floor area is defined as the gross area of any built structure from grade level up, excluding cellars, mechanical enclosures such as rooftop mechanical penthouses and screens. Above-grade parking structures are to be included in FAR calculations.

3. Building Heights The maximum building height shall not exceed the height approved by the FAA, to a maximum of two hundred (200) feet.

4. Building Setbacks

Front Setbacks

Minimum front setback distances from the right-of-way line of public streets and adjacent property lines are as follows:

Alpha Road, Cambridge Concourse, Inwood Road

Above ground building structures shall be setback a minimum of 30 feet from the street right-of-way.

Simonton Road

Above ground building structures shall be setback a minimum of 25 feet from the street right-of-way.

Interior Streets

Above ground building structure setbacks from interior streets within the District shall be established by site plan approval.

Side and Rear Setbacks

All above ground building structure setbacks from side and rear property lines shall be established by site plan approval.

Paving Setbacks

All pavement of interior parking lots, vehicle maneuvering areas, or driveways running parallel to a public street shall be setback a minimum of ten feet from all property lines. The ten foot setback between the pavement area and the property line shall be landscaped.

Other Setbacks

All setbacks from the railroad and other easements shall be established on the site plan.

5. Site Coverage

The gross ground floor area of buildings shall not exceed 50% of the gross site area. The remaining site area may be utilized for surfaced parking or maneuvering areas, and landscaping.

6. Landscaping

The landscaped open space shall not be less than 5% of the gross area on any proposed site plan.

Landscaped areas may include a combination of zones of grass, ground cover, trees and shrubs, fountains and water treatments, and sculptures.

Trees shall have a minimum caliper size of three (3) inches. There shall be one (1) tree per 25 feet of lineal street frontage.

A minimum of five (5) percent of any parking lot area shall be landscaped.

A landscaped berm, varying in height up to three (3) feet shall be installed along the perimeter of the property fronting Alpha Road, Inwood Road and Simonton Road.

Any significant changes to the approved landscaping shall require an amendment to the approved site plan.

7. Parking

Parking shall be provided for the proposed uses at the following minimum ratio and shall be accommodated in surface level parking areas, garage or in structures

- a) Offices - One space per 300 square feet of gross area
- b) Eating establishments – One space per 100 square feet of gross area
- c) Retail – One space per 200 square feet of gross area
- d) Furniture Sales – One space per 800 square feet of gross area
- e) Warehouse, Distribution, Light Manufacturing – One space per 1,000 square feet of floor area
- f) Hotel and Motels – One space per rental unit for the first 250 rooms, one-half (1/2) space per rental unit for each between 251 and 500 rooms, one-quarter (1/4) per rental unit for additional room over 500 rooms plus spaces required by restaurants, and any other affiliated facilities.

8. Loading Area

All offices shall provide and maintain off-street loading facilities in the quantities stated below:

Office uses

0 to 50,000 gross square feet: no spaces

50,000 to 150,000 gross square feet: 1 space

Each additional 100,000 gross square feet: 1 space

Commercial uses

0 to 10,000 gross square feet: no spaces

10,000 to 50,000 gross square feet: 1 space

Each additional 100,000 square feet: 1 space

Restaurant uses

0 to 5,000 gross square feet: no spaces

5,000 to 25,000 gross square feet: 1 space

25,000 to 50,000 gross square feet: 2 spaces

Each additional 50,000 square feet: 1 space

Hotel uses

0 to 50,000 gross square feet: no spaces

50,000 to 100,000 gross square feet: 1 space

100,000 to 300,000 gross square feet: 2 spaces

Each additional 200,000 square feet: 1 space

9. Streets and Pavement

All streets and drives shall be constructed in conformance with City engineering design criteria.

Private internal streets and drives may have pave-stone, cobbles, pressed concrete, or other landscape treatments to enhance the overall appearance of the project, if approved on the site plan.

All pavement (e.g.: fire lanes, vehicle parking, maneuvering areas, sidewalks, etc.) shall be constructed of concrete. Enhanced pavement materials may also be used provided they meet the City's engineering standards and are approved on the site plan.

10. Exterior Finish

A minimum of 75% of each exterior wall of any building shall be constructed of masonry materials.

11. Signage

Building Identification Signs (wall signs)

- a) The maximum area for all wall signs per building elevation shall be 200 square feet. However, the City Council shall have the discretion to grant up to a total of 500 square feet of wall signage per building elevation.
- b) Any number and placement of building identification signs may be utilized, so long as the total sign surface area of signs on an individual particular building façade does not exceed the maximum sign area allowed in the above Section B11a.
- c) Wall signs are only permitted on no more than three facades as shown and approved on the site plan.
- d) The maximum height of the letters of any sign shall not exceed ten feet.

Monument Signs

- a) There shall no more than two monument signs within the entire district. The location of the two monument signs shall be approved on the site plan.
- b) The maximum area of a monument sign shall be 48 square feet.
- c) The maximum height of a monument sign shall be six feet.
- d) The minimum setback from the property line shall be ten feet.

Pole or Pylon Signs

- a) There shall be no more than one pole or pylon sign for the entire district.
- b) The maximum area of the pole or pylon sign shall be 200 square feet.
- c) The maximum height of a pole or pylon sign shall be 50 feet
- d) The minimum setback from the property line shall be 10 feet

Incidental Signs

For the purpose of this Ordinance, an incidental sign shall be generally considered to be any informational sign that has a purpose secondary to the use of the lot on which it is located, including but not limited to "no parking, handicap parking, entrance, loading only, telephone, etc" and other directives. On-premise incidental signs shall be permitted at the discretion of the

City-Council and in accordance with the following development standards:

- a) The maximum height of the sign shall not exceed four (4) feet.
- b) The maximum sign surface area of the sign shall not exceed six (6) square feet.
- c) The sign shall be setback a minimum of two feet from the existing street right-of-way.
- d) Two directional signs shall be permitted at each ingress or egress point on a lot. One parking and loading sign shall be permitted per each frontage that contains an ingress/egress point. One (1) internal directory sign for each office, retail, industrial, and institutional building or complex under unified control consisting of two (2) or more occupants shall be allowed. Internal directory signs shall not be permitted for a single occupant located in the building or complex.

The above-specified sign standards would remain the same for a single, multiple, or integrated users of the site. If the site is subdivided into two or more parcels the sign standards for all parcels shall not exceed the total permissible sign type, number, and area specified under this Ordinance.

C. REQUIRED SUBMISSIONS

1. Conceptual Development Plan

The following are submittal requirements for approval of a conceptual development plan under the Planned Development District:

- a) A vicinity map
- b) A boundary survey of the property, including the following:
 - i. metes and bounds of all property lines
 - ii. total area of property
 - iii. scale and north arrow
 - iv. names and route numbers of boundary streets and rights-of-way
- c) A statement confirming the ownership of the subject property and stating the place of the record of the latest instrument in the chain of title.
- d) An aerial photograph of the subject property and all adjacent properties within 500 feet.
- e) A generalized land use plan showing the approximate location of proposed land uses, circulation corridors and public utility corridors. This should include a statement of maximum allowable building and parking space and anticipated building heights as allowed by the Planned Development District Ordinance.
- f) A statement or visual presentation of how adjacent and neighboring properties shall be affected by the proposed development. This statement should address vehicular access plan, site context and existing and anticipated land uses.
- g) A traffic impact analysis of the relevant site area defined by staff including implications of proposed development pertaining to subject site as well as potential development on adjoining sites.

2. Detailed Development Plan

The following are submittal requirements for approval of a detailed development plan under PD-80. This submittal would address a particular phase of a project and would be required before building permits would be considered:

- a) A vicinity map
- b) A boundary survey of the property, including the following:
 - i. metes and bounds of all property lines.
 - ii. total area of property.
 - iii. graphic scale and north arrow.
 - iv. names and route numbers of boundary streets and rights-of-way.
 - v. Existing topography with a maximum contour interval of 2 feet.
- c) A detailed, scaled site plan showing:
 - i. existing and proposed public or private streets
 - ii. existing and proposed building or parking structure locations, including size in number of square feet, number of floors and proposed approximate average height above grade.
 - iii. existing and proposed utility easements and fire lanes
 - iv. landscape plan showing vegetation zones and their relationship to adjacent properties, size and spacing at time of planting and a statement on the plan that all landscaping to be automatically irrigated
 - v. proposed at grade parking lots and loading facilities
 - vi. a statement of proposed floor to area ratio, site coverage, landscaped area and the relationship between these figures and the standards set forth in the Planned Development District Ordinance.
 - vii. Proposed on site and directional signage
- d) A traffic impact analysis of site area defined by staff including implications of proposed development pertaining to subject site as well as potential development on adjoining sites.
- e) Any changes to the approved site plan for this ordinance shall be considered a site plan amendment and shall require approval from the City Council following a recommendation from the Planning and Zoning Commission.

Exhibit C

Commencing at a ½ inch iron rod with cap located at the intersection of the west right of way line of Inwood Road (60' right-of-way), and the north right-of-way line of Simonton Road (60' right-of-way), same being the southeast corner of MTV real estate tract;

thence south 89 deg. 42 min. 00 sec. west with the north right-of-way line of said Simonton Road and the south line of said MTV real estate tract a distance of 528.45 feet to the **point of beginning**, said point being the beginning of a non-tangent curve to the left;

thence departing the said north line of Simonton Road and with said curve to the left having a central angle of 44 deg. 16 min. 53 sec., a radius of 345.60 feet, a tangent length of 140.62 feet, a chord which bears north 28 deg. 38 min. 12 sec. west, a chord distance of 260.50 feet, for an arc distance of 267.10 feet to the end of said curve, a point for corner;

thence north 50 deg. 46 min. 38 sec. west, a distance of 65.72 feet to a point at the beginning of a tangent curve to the right;

thence with said curve to the right having a central angle of 44 deg. 59 min. 4 sec., a radius of 370.60 feet, a tangent length of 153.45 feet, a chord which bears north 28 deg. 17 min. 6 sec. west, a chord distance of 283.55 feet, for an arc distance of 290.97 feet to a point at the end of said curve, said point also being the beginning of a non-tangent curve to the right;

thence with said curve having a central angle of 36 deg. 11 min. 12 sec., a radius of 321.51 feet, a tangent length of 105.08 feet, a chord which bears south 44 deg. 31 min. 12 sec. west with a distance of 199.69 feet, for an arc length of 203.56 feet.

thence south 0 deg. 18 min. 0 sec. east, a distance of 379.77 feet to a point in the north right-of-way line of said Simonton Road;

thence north 89 deg. 42 min. 00 sec. east along the north right of way line of Simonton Road a distance of 448.20 feet to the point of beginning of herein described tract, and containing 3.22 acres of land more or less.